

AIA® Document A101® – 2017

Standard Form of Agreement Between Owner and Contractor where the basis of payment is a Stipulated Sum

AGREEMENT made as of the Twenty Ninth day of April in the year Two Thousand Twenty Five

(In words, indicate day, month and year.)

BETWEEN the Owner:

(Name, legal status, address and other information)

Ben Hill County Board of Commissioners
402A East Pine Street
Fitzgerald, GA 31750

and the Contractor:

(Name, legal status, address and other information)

Kellerman Construction, Inc.
2717 Windemere Drive, Suite D
Valdosta, GA 31602

for the following Project:

(Name, location and detailed description)

INODIC Grant# GA-0013787
Monitor Enrichment Center Recreation Improvements
600 South Monitor Drive
Fitzgerald, GA 31750

The Architect:

(Name, legal status, address and other information)

Blake Ellis and Associates d/b/a
Ellis, Rickett and Associates
105 South Patterson Street
Valdosta, GA 31601

The Owner and Contractor agree as follows.

ADDITIONS AND DELETIONS:

The author of this document has added information needed for its completion. The author may also have revised the text of the original AIA standard form. An *Additions and Deletions Report* that notes added information as well as revisions to the standard form text is available from the author and should be reviewed. A vertical line in the left margin of this document indicates where the author has added necessary information and where the author has added to or deleted from the original AIA text.

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

The parties should complete A101®-2017, Exhibit A, Insurance and Bonds, contemporaneously with this Agreement. AIA Document A201®-2017, General Conditions of the Contract for Construction, is adopted in this document by reference. Do not use with other general conditions unless this document is modified.

TABLE OF ARTICLES

- 1 THE CONTRACT DOCUMENTS
- 2 THE WORK OF THIS CONTRACT
- 3 DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION
- 4 CONTRACT SUM
- 5 PAYMENTS
- 6 DISPUTE RESOLUTION
- 7 TERMINATION OR SUSPENSION
- 8 MISCELLANEOUS PROVISIONS
- 9 ENUMERATION OF CONTRACT DOCUMENTS

EXHIBIT A INSURANCE AND BONDS

ARTICLE 1 THE CONTRACT DOCUMENTS

The Contract Documents consist of this Agreement, Conditions of the Contract (General, Supplementary, and other Conditions), Drawings, Specifications, Addenda issued prior to execution of this Agreement, other documents listed in this Agreement, and Modifications issued after execution of this Agreement, all of which form the Contract, and are as fully a part of the Contract as if attached to this Agreement or repeated herein. The Contract represents the entire and integrated agreement between the parties hereto and supersedes prior negotiations, representations, or agreements, either written or oral. An enumeration of the Contract Documents, other than a Modification, appears in Article 9.

ARTICLE 2 THE WORK OF THIS CONTRACT

The Contractor shall fully execute the Work described in the Contract Documents, except as specifically indicated in the Contract Documents to be the responsibility of others.

ARTICLE 3 DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION

§ 3.1 The date of commencement of the Work shall be:

(Check one of the following boxes.)

☐ The date of this Agreement.

☒ A date set forth in a notice to proceed issued by the Owner.

☐ Established as follows:

(Insert a date or a means to determine the date of commencement of the Work.)

If a date of commencement of the Work is not selected, then the date of commencement shall be the date of this Agreement.

§ 3.2 The Contract Time shall be measured from the date of commencement of the Work.

§ 3.3 Substantial Completion

§ 3.3.1 Subject to adjustments of the Contract Time as provided in the Contract Documents, the Contractor shall achieve Substantial Completion of the entire Work:

(Check one of the following boxes and complete the necessary information.)

[X] Not later than Two hundred ten (210) calendar days from the date of commencement of the Work.

[] By the following date:

§ 3.3.2 Subject to adjustments of the Contract Time as provided in the Contract Documents, if portions of the Work are to be completed prior to Substantial Completion of the entire Work, the Contractor shall achieve Substantial Completion of such portions by the following dates:

Portion of Work	Substantial Completion Date
N/A	

§ 3.3.3 If the Contractor fails to achieve Substantial Completion as provided in this Section 3.3, liquidated damages, if any, shall be assessed as set forth in Section 4.5.

ARTICLE 4 CONTRACT SUM

§ 4.1 The Owner shall pay the Contractor the Contract Sum in current funds for the Contractor's performance of the Contract. The Contract Sum shall be One Million sixty one thousand five hundred dollars (\$ 1,061,500.00), subject to additions and deductions as provided in the Contract Documents.

§ 4.2 Alternates

§ 4.2.1 Alternates, if any, included in the Contract Sum:

Item	Price
None	

§ 4.2.2 Subject to the conditions noted below, the following alternates may be accepted by the Owner following execution of this Agreement. Upon acceptance, the Owner shall issue a Modification to this Agreement.
(Insert below each alternate and the conditions that must be met for the Owner to accept the alternate.)

Item	Price	Conditions for Acceptance
None		

§ 4.3 Allowances, if any, included in the Contract Sum:
(Identify each allowance.)

Item	Price
None	

§ 4.4 Unit prices, if any:
(Identify the item and state the unit price and quantity limitations, if any, to which the unit price will be applicable.)

Item	Units and Limitations	Price per Unit (\$0.00)
N/A		

§ 4.5 Liquidated damages, if any:
(Insert terms and conditions for liquidated damages, if any.)

None

§ 4.6 Other:
(Insert provisions for bonus or other incentives, if any, that might result in a change to the Contract Sum.)

N/A

ARTICLE 5 PAYMENTS

§ 5.1 Progress Payments

§ 5.1.1 Based upon Applications for Payment submitted to the Architect by the Contractor and Certificates for Payment issued by the Architect, the Owner shall make progress payments on account of the Contract Sum to the Contractor as provided below and elsewhere in the Contract Documents.

§ 5.1.2 The period covered by each Application for Payment shall be one calendar month ending on the last day of the month, or as follows:

N/A

§ 5.1.3 Provided that an Application for Payment is received by the Architect not later than the first day of a month, the Owner shall make payment of the amount certified to the Contractor not later than the thirtieth day of the same month. If an Application for Payment is received by the Architect after the application date fixed above, payment of the amount certified shall be made by the Owner not later than thirty (30) days after the Architect receives the Application for Payment.

(Federal, state or local laws may require payment within a certain period of time.)

§ 5.1.4 Each Application for Payment shall be based on the most recent schedule of values submitted by the Contractor in accordance with the Contract Documents. The schedule of values shall allocate the entire Contract Sum among the various portions of the Work. The schedule of values shall be prepared in such form, and supported by such data to substantiate its accuracy, as the Architect may require. This schedule of values shall be used as a basis for reviewing the Contractor's Applications for Payment.

§ 5.1.5 Applications for Payment shall show the percentage of completion of each portion of the Work as of the end of the period covered by the Application for Payment.

§ 5.1.6 In accordance with AIA Document A201™-2017, General Conditions of the Contract for Construction, and subject to other provisions of the Contract Documents, the amount of each progress payment shall be computed as follows:

§ 5.1.6.1 The amount of each progress payment shall first include:

- .1 That portion of the Contract Sum properly allocable to completed Work;
- .2 That portion of the Contract Sum properly allocable to materials and equipment delivered and suitably stored at the site for subsequent incorporation in the completed construction, or, if approved in advance by the Owner, suitably stored off the site at a location agreed upon in writing; and
- .3 That portion of Construction Change Directives that the Architect determines, in the Architect's professional judgment, to be reasonably justified.

§ 5.1.6.2 The amount of each progress payment shall then be reduced by:

- .1 The aggregate of any amounts previously paid by the Owner;
- .2 The amount, if any, for Work that remains uncorrected and for which the Architect has previously withheld a Certificate for Payment as provided in Article 9 of AIA Document A201-2017;
- .3 Any amount for which the Contractor does not intend to pay a Subcontractor or material supplier, unless the Work has been performed by others the Contractor intends to pay;
- .4 For Work performed or defects discovered since the last payment application, any amount for which the Architect may withhold payment, or nullify a Certificate of Payment in whole or in part, as provided in Article 9 of AIA Document A201-2017; and
- .5 Retainage withheld pursuant to Section 5.1.7.

§ 5.1.7 Retainage

§ 5.1.7.1 For each progress payment made prior to Substantial Completion of the Work, the Owner may withhold the following amount, as retainage, from the payment otherwise due:

(Insert a percentage or amount to be withheld as retainage from each Application for Payment. The amount of retainage may be limited by governing law.)

ten percent (10%)

§ 5.1.7.1.1 The following items are not subject to retainage:

(Insert any items not subject to the withholding of retainage, such as general conditions, insurance, etc.)

N/A

§ 5.1.7.2 Reduction or limitation of retainage, if any, shall be as follows:

(If the retainage established in Section 5.1.7.1 is to be modified prior to Substantial Completion of the entire Work, including modifications for Substantial Completion of portions of the Work as provided in Section 3.3.2, insert provisions for such modifications.)

Reduction of retainage shall not be permitted throughout the entire length of construction.

§ 5.1.7.3 Except as set forth in this Section 5.1.7.3, upon Substantial Completion of the Work, the Contractor may submit an Application for Payment that includes the retainage withheld from prior Applications for Payment pursuant to this Section 5.1.7. The Application for Payment submitted at Substantial Completion shall not include retainage as follows:

(Insert any other conditions for release of retainage upon Substantial Completion.)

N/A

§ 5.1.8 If final completion of the Work is materially delayed through no fault of the Contractor, the Owner shall pay the Contractor any additional amounts in accordance with Article 9 of AIA Document A201-2017.

§ 5.1.9 Except with the Owner's prior approval, the Contractor shall not make advance payments to suppliers for materials or equipment which have not been delivered and stored at the site.

§ 5.2 Final Payment

§ 5.2.1 Final payment, constituting the entire unpaid balance of the Contract Sum, shall be made by the Owner to the Contractor when

- .1 the Contractor has fully performed the Contract except for the Contractor's responsibility to correct Work as provided in Article 12 of AIA Document A201-2017, and to satisfy other requirements, if any, which extend beyond final payment; and
- .2 a final Certificate for Payment has been issued by the Architect.

§ 5.2.2 The Owner's final payment to the Contractor shall be made no later than 30 days after the issuance of the Architect's final Certificate for Payment, or as follows:

N/A

§ 5.3 Interest

Payments due and unpaid under the Contract shall bear interest from the date payment is due at the rate stated below, or in the absence thereof, at the legal rate prevailing from time to time at the place where the Project is located.

(Insert rate of interest agreed upon, if any.)

0 % Zero percent

ARTICLE 6 DISPUTE RESOLUTION

§ 6.1 Initial Decision Maker

The Architect will serve as the Initial Decision Maker pursuant to Article 15 of AIA Document A201-2017, unless the parties appoint below another individual, not a party to this Agreement, to serve as the Initial Decision Maker.

(If the parties mutually agree, insert the name, address and other contact information of the Initial Decision Maker, if other than the Architect.)

N/A

§ 6.2 Binding Dispute Resolution

For any Claim subject to, but not resolved by, mediation pursuant to Article 15 of AIA Document A201–2017, the method of binding dispute resolution shall be as follows:

(Check the appropriate box.)

☐ Arbitration pursuant to Section 15.4 of AIA Document A201–2017

☒ Litigation in a court of competent jurisdiction

☐ Other *(Specify)*

If the Owner and Contractor do not select a method of binding dispute resolution, or do not subsequently agree in writing to a binding dispute resolution method other than litigation, Claims will be resolved by litigation in a court of competent jurisdiction.

ARTICLE 7 TERMINATION OR SUSPENSION

§ 7.1 The Contract may be terminated by the Owner or the Contractor as provided in Article 14 of AIA Document A201–2017.

§ 7.1.1 If the Contract is terminated for the Owner's convenience in accordance with Article 14 of AIA Document A201–2017, then the Owner shall pay the Contractor a termination fee as follows:

(Insert the amount of, or method for determining, the fee, if any, payable to the Contractor following a termination for the Owner's convenience.)

N/A

§ 7.2 The Work may be suspended by the Owner as provided in Article 14 of AIA Document A201–2017.

ARTICLE 8 MISCELLANEOUS PROVISIONS

§ 8.1 Where reference is made in this Agreement to a provision of AIA Document A201–2017 or another Contract Document, the reference refers to that provision as amended or supplemented by other provisions of the Contract Documents.

§ 8.2 The Owner's representative:

(Name, address, email address, and other information)

Mike Dinnerman
402A East Pine Street
Fitzgerald, GA 31750

§ 8.3 The Contractor's representative:

(Name, address, email address, and other information)

M. Brahm Kellerman
Kellerman Construction, Inc.
2717 Windemere Drive, Suite D
Valdosta, GA 31602

§ 8.4 Neither the Owner's nor the Contractor's representative shall be changed without ten days' prior notice to the other party.

§ 8.5 Insurance and Bonds

§ 8.5.1 The Owner and the Contractor shall purchase and maintain insurance as set forth in AIA Document A101™-2017, Standard Form of Agreement Between Owner and Contractor where the basis of payment is a Stipulated Sum, Exhibit A, Insurance and Bonds, and elsewhere in the Contract Documents.

§ 8.5.2 The Contractor shall provide bonds as set forth in AIA Document A101™-2017 Exhibit A, and elsewhere in the Contract Documents.

§ 8.6 Notice in electronic format, pursuant to Article 1 of AIA Document A201-2017, may be given in accordance with AIA Document E203™-2013, Building Information Modeling and Digital Data Exhibit, if completed, or as otherwise set forth below:

(If other than in accordance with AIA Document E203-2013, insert requirements for delivering notice in electronic format such as name, title, and email address of the recipient and whether and how the system will be required to generate a read receipt for the transmission.)

N/A

§ 8.7 Other provisions:

Refer to AIA A201-2017 General Conditions for requirements of Insurance and Bonds as modified in specification section 00 7000.

ARTICLE 9 ENUMERATION OF CONTRACT DOCUMENTS

§ 9.1 This Agreement is comprised of the following documents:

- .1 AIA Document A101™-2017, Standard Form of Agreement Between Owner and Contractor
- .2 AIA Document A201™-2017, General Conditions of the Contract for Construction

(Paragraph deleted)

- .3 Drawings

Number	Title	Date
See Exhibit A		

- .4 Specifications

Section	Title	Date	Pages
See Exhibit B			

- .5 Addenda, if any:

Number	Date	Pages
1	April 4, 2025	5
2	April 14, 2025	7

Portions of Addenda relating to bidding or proposal requirements are not part of the Contract Documents unless the bidding or proposal requirements are also enumerated in this Article 9.

(Paragraphs deleted)

This Agreement entered into as of the day and year first written above.

OWNER *(Signature)*

Hal Wiley Chairman

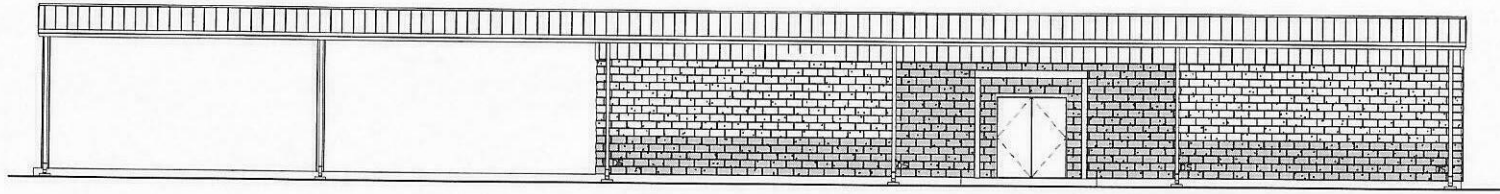
(Printed name and title)

CONTRACTOR *(Signature)*

M. Brahm Kellerman President

(Printed name and title)

Exhibit - A



INODIC GRANT #GA-0013787 MONITOR ENRICHMENT CENTER RECREATION IMPROVEMENTS

FOR BEN HILL COUNTY COMMISSION

100% CONSTRUCTION DOCUMENT SET

X1.01 TITLE SHEET

CIVIL

- C1.0 GENERAL NOTES
- C2.0 EXISTING CONDITIONS
- C3.0 DEMOLITION PLAN
- C4.0 SITE PLAN
- C5.0 UTILITY PLAN
- C6.0 GRADING PLAN
- C7.0 HYDROLOGY PLAN
- C8.0 LANDSCAPE PLAN
- C9.0 EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN
- C10.0 CONSTRUCTION DETAILS
- C11.0 EROSION, SEDIMENTATION, AND POLLUTION CONTROL DETAILS

ARCHITECTURAL

- A1.01 LIFE SAFETY PLAN
- A2.00 ARCHITECTURAL SITE PLAN
- A2.01 FLOOR PLAN
- A2.02 WALL TYPES
- A2.03 ROOF PLAN
- A2.04 ENLARGED SERVING FLOOR PLAN

INDEX OF DRAWINGS

ARCHITECTURAL (CONT.)

- A3.01 DOOR AND FINISH SCHEDULES, HEAD & JAMB DETAILS
- A4.01 REFLECTED CEILING PLAN
- A5.01 ENLARGED TOILET PLAN & ELEVATIONS
- A6.01 INTERIOR ELEVATIONS
- A6.02 INTERIOR ELEVATIONS
- A7.01 EXTERIOR ELEVATIONS
- A8.01 BUILDING SECTIONS
- A8.02 BUILDING SECTIONS
- A9.01 WALL SECTIONS
- A9.02 WALL SECTIONS
- A9.03 WALL SECTIONS

STRUCTURAL

- S1.0 GENERAL NOTES, MASONRY SECTIONS AND DETAILS
- S2.1 FOUNDATION AND SLAB PLAN, SECTIONS AND DETAILS
- S2.2 ROOF FRAMING PLAN, SECTIONS AND DETAILS

PLUMBING

- P0.01 LEGEND, SCHEDULE NOTES AND DETAILS - PLUMBING
- P2.01 FLOOR PLAN - PLUMBING
- P3.01 LARGE SCALE PARTIAL FLOOR PLAN - PLUMBING
- P5.01 DETAILS - PLUMBING

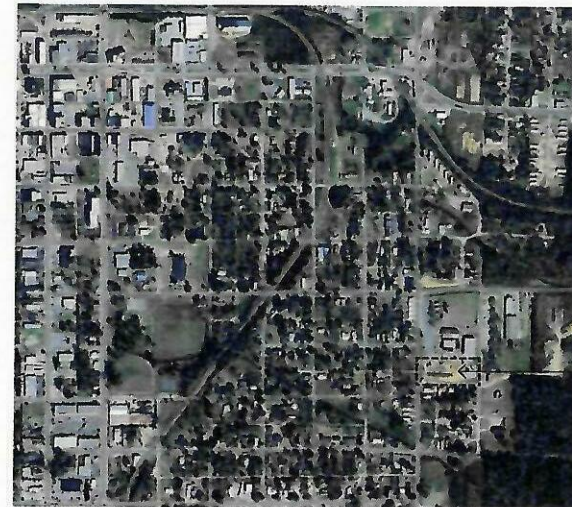
MECHANICAL

- M0.01 ABBREVIATIONS, LEGENDS AND SCHEDULES - HVAC
- M2.01 FLOOR PLAN - HVAC
- M5.01 DETAILS - HVAC

ELECTRICAL

- E0.01 LEGEND AND SCHEDULE - ELECTRICAL
- E1.01 SITE PLAN - ELECTRICAL
- E2.01 FLOOR PLAN - LIGHTING
- E3.01 FLOOR PLAN - POWER
- E4.01 FLOOR PLAN - SYSTEMS/HVAC POWER
- E5.01 DETAILS - ELECTRICAL

PROJECT LOCATION



PROJECT
LOCATION

CONSULTANTS

CIVIL:

ADVANCED ENGINEERING SERVICES, LLC
4350 VALHORN DR., SUITE E
VALDOSTA, GA 31622
PHONE: (800) 416-8136
DIRECT: (229) 275-7132

STRUCTURAL

CRENS ENGINEERING
101-B SOUTH PATTERSON STREET
VALDOSTA, GA 31601
PHONE: (229) 244-3100

PLUMBING:

NSP ENGINEERS, INC.
316 CORPORATE PARKWAY
VALDOSTA, GA 31710
PHONE: (478) 745-1591

MECHANICAL:

NSP ENGINEERS, INC.
316 CORPORATE PARKWAY
VALDOSTA, GA 31710
PHONE: (478) 745-1591

ELECTRICAL:

NSP ENGINEERS, INC.
316 CORPORATE PARKWAY
VALDOSTA, GA 31710
PHONE: (478) 745-1591

BIDDING DOCUMENTS

00 1113	Advertisement for Bids	00 1113-1 only
00 2113	Instructions to Bidders	00 2113-1 thru 00 2113-6
00 4100	Bid Form	00 4100-1 thru 00 4100-3

GENERAL CONDITIONS

00 7000	General Conditions	00 7000-1 thru 00 7000-6
00 7300	Supplementary Conditions	00 7300-1 thru 00 7300-2

DIVISION 1 – GENERAL REQUIREMENTS

01 2300	Alternates	01 2300-1 thru 01 2300-2
01 2900	Payment Procedures	01 2900-1 thru 01 2900-3
01 3300	Submittal Procedures	01 3300-1 thru 01 3300-2
01 4000	Quality Requirements	01 4000-1 thru 01 4000-5
01 5000	Temporary Facilities and Controls	01 5000-1 thru 01 5000-2
01 6000	Product Requirements	01 6000-1 thru 01 6000-4
01 7300	Execution	01 7300-1 thru 01 7300-6
01 7400	Final Cleaning	01 7400-1 thru 01 7400-2
01 7700	Closeout Procedures	01 7700-1 thru 01 7700-4
01 7823	Operation and Maintenance Data	01 7823-1 thru 01 7823-5

DIVISION 2 - SITE WORK**DIVISION 3 – CONCRETE**

03 3000	Cast In Place Concrete	03 3000-1 thru 03 3000-20
03 3543	Polished and Dyed Concrete Finishing	03 3543-1 thru 03 3543-8

DIVISION 4 – MASONRY

04 8100	Masonry	04 8100-1 thru 04 8100-9
---------	---------	--------------------------

DIVISION 5 – METALS**DIVISION 6 – WOOD AND PLASTICS**

06 1000	Rough Carpentry	06 1000-1 thru 06 1000-7
06 4023	Interior Architectural Woodwork	06 4023-1 thru 06-4023-5

DIVISION 7 – MOISTURE AND THERMAL PROTECTION

07 2130	Pre-Engineered Building Insulation	07 2130-1 thru 07-2130-4
07 8413	Penetration Firestopping	07 8413-1 thru 07 8413-3
07 9200	Joint Sealers	07 9200-1 thru 07 9200-6

DIVISION 8 – DOORS AND WINDOWS

08 1113	Hollow Metal Doors and Frames	08 1113-1 thru 08 1113-7
08 7100	Finish Hardware	08 7100-1 thru 08 7100-8

DIVISION 9 – FINISHES

09 9113	Exterior Painting	09 9113-1 thru 09 9113-4
09 9123	Interior Painting	09 9123-1 thru 09 9123-5
09 9300	Concrete Staining	09 9300-1 thru 09 9300-2

DIVISION 10 – SPECIALTIES

10 4413	Fire Extinguisher Cabinets	10 4413-1 thru 10 4413-4
10 4416	Fire Extinguishers	10 4416-1 thru 10 4416-2
10 7300	Protective Covers	10 7300-1 thru 10 7300-4

DIVISION 11 – EQUIPMENT**DIVISION 12 – FURNISHINGS****DIVISION 13 – SPECIAL CONSTRUCTION**

13 3419	Metal Building Systems	13 3419-1 thru 13 3419-9
10 7300	Protective Covers	10 7300-1 thru 10 7300-4

DIVISION 14 – CONVEYING SYSTEM**DIVISION 21 – FIRE SUPPRESSION****DIVISION 22 – PLUMBING**

22 0510	General Plumbing Requirements	22 0510-1 thru 22 0510-10
22 0519	Meters and Gauges	22 0519-1 thru 22 0519-3
22 0553	Identification for Plumbing Piping and Equipment	22 0553-1 thru 22 0553-3
22 0719	Plumbing Piping Insulation	22 0719-1 thru 22 0719-6
22 1005	Plumbing Piping	20 1005-1 thru 22 1005-10
22 1006	Plumbing Piping Specialties	22 1006-1 thru 22 1006-8
22 3000	Plumbing Equipment	22 3000-1 thru 22 3000-4
22 4010	Plumbing Fixtures	22 4010-1 thru 22 4010-14

DIVISION 23 – HEATING, VENTILATING, AND AIR-CONDITIONING (HVAC)

23 0510	General Mechanical Requirements	23 0510-1 thru 23 0510-7
23 0548	Vibration and Seismic Controls for HVAC Piping and Equipment	23 0548-1 thru 23 0548-3
23 0553	Identification for HVAC Piping and Equipment	23 0553-1 only
23 0593	Testing, Adjusting and Balancing for HVAC	23 0593-1 thru 23 0593-10
23 0713	Duct Insulation	23 0713-1 thru 23 0713-4
23 0719	HVAC Piping Insulation	23 0719-1 thru 23 0719-3
23 0913	Instrumentation and Control Devices for HVAC	23 0913-1 thru 23 0913-6
23 0994	HVAC Sequence of Operations	23 0994-1 thru 23 0994-2
23 2300	Refrigerant Piping	23 2300-1 thru 23 2300-5
23 3100	HVAC Ducts and Casings	23 3100-1 thru 23 3100-9
23 3300	Air Duct Accessories	23 3300-1 thru 23 3300-3
23 3423	HVAC Power Ventilators	23 3423-1 thru 23 3423-4
23 3700	Air Outlets and Inlets	23 3700-1 thru 23 3700-4
23 4000	HVAC Air Cleaning Devices	23 4000-1 thru 23 4000-2
23 8127	Small Split-System Heating and Cooling (less than 5 Tons)	23 8127-1 thru 23 8127-6

DIVISION 26 – ELECTRICAL

26 0510	General Electrical Requirements	26 0510-1 thru 26 0510-19
26 0519	Low Voltage Electrical Power Conductors And Cables	26 0519-1 thru 26 0519-8
26 0529	Hangers and Supports for Electrical Systems	26 0529-1 thru 26 0529-3
26 0533.13	Conduit for Electrical Systems	26 0533.13-1 thru 26 0533.13-9
26 0533.16	Boxes for Electrical Systems	26 0533.16-1 thru 26 0533.16-7
26 0553	Identification for Electrical Systems	26 0553-1 thru 26 0553-4
26 0583	Wiring Connections	26 0583-1 thru 26 0583-3
26 2416	Panelboards	26 2416-1 thru 26 2416-9
26 2417	Surge Protective Devices (SPDS)	26 2417-1 thru 26 2417-8
26 2726	Wiring Devices	26 2726-1 thru 26 2726-9
26 2813	Fuses	26 2813-1 thru 26 2813-2
26 2816.16	Enclosed Switches	26 2816.16-1 thru 26 2816.16-3
26 5100	Interior Lighting	26 5100-1 thru 26 5100-11
26 5200	Sensor Lighting Controls	26 5200-1 thru 26 5200-7
26 5600	Exterior Lighting	26 5600-1 thru 26 5600-4

DIVISION 28 – ELECTRONIC SAFETY AND SECURITY

28 3100	Fire Alarm Systems	28 3100-1 thru 28 3100-14
---------	--------------------	---------------------------

DIVISION 31 – EARTH WORK

31 0000	Earthwork	31 0000-1 thru 31 0000-5
31 2500	Erosion and Sedimentation Control	31 2500-1 thru 31 2500-5
31 3116	Termite Control	31 3116-1 thru 31 3116-2

DIVISION 32 – EXTERIOR IMPROVEMENTS

32 1216	Asphalt Paving	32 1216-1 thru 32 1216-4
32 1600	Curbs, Gutters, and Concrete Paving	32 1600-1 thru 32 1600-4
32 9000	Landscaping	32 9000-1 thru 32 9000-12

DIVISION 33 – UTILITIES

33 0000	Site Utilities	33 0000-1 thru 33 0000-2
33 1000	Water Distribution	33 1000-1 thru 33 1000-21
33 3000	Sanitary Sewers	33 3000-1 thru 33 3000-8
33 4000	Storm Drainage	33 4000-1 thru 33 4000-7

END OF TABLE OF CONTENTS